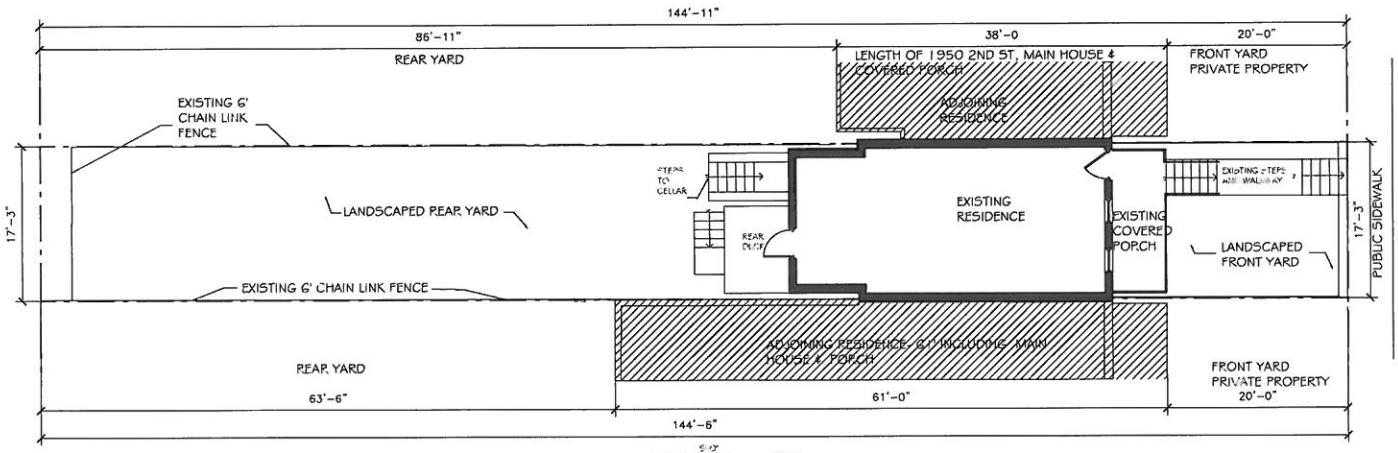


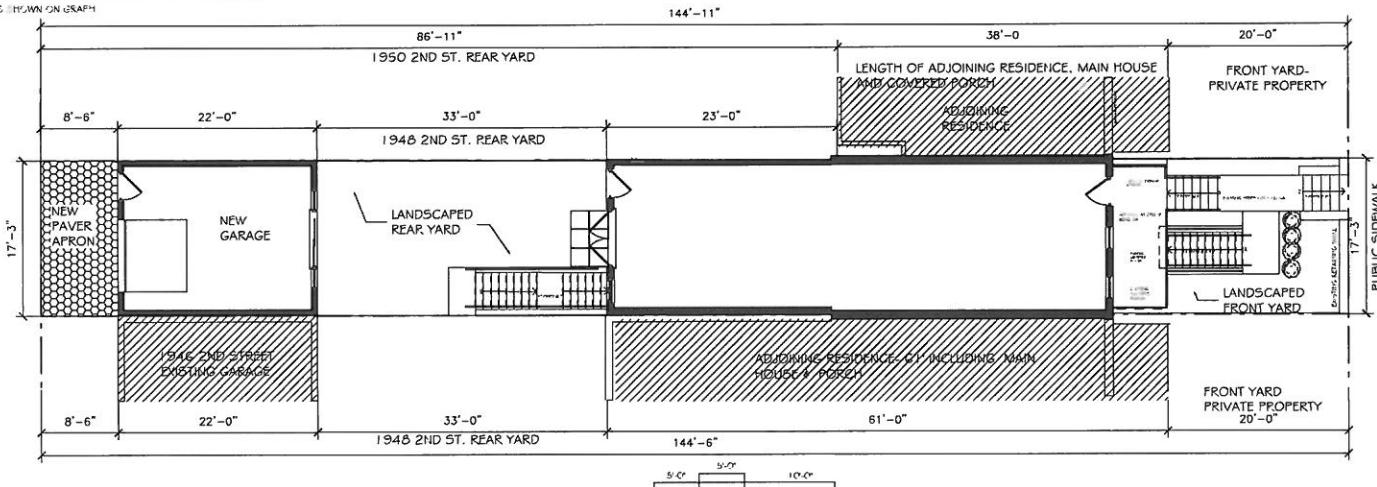
15' PUBLIC ALLEY



EXISTING CONDITIONS SITE PLAN

SCALE AS SHOWN ON GRAPH

15' PUBLIC ALLEY



SITE PLAN WITH IMPROVEMENTS

SCALE AS SHOWN ON GRAPH

1900 BLOCK 2ND ST. NW

1900 BLOCK 2ND ST. NW

FOR SUBMISSION TO DC BZA

PROJECT:

1948 SECOND ST NW
RENOVATION &
ADDITION
1948 SECOND STREET NW
WASHINGTON DC 20001

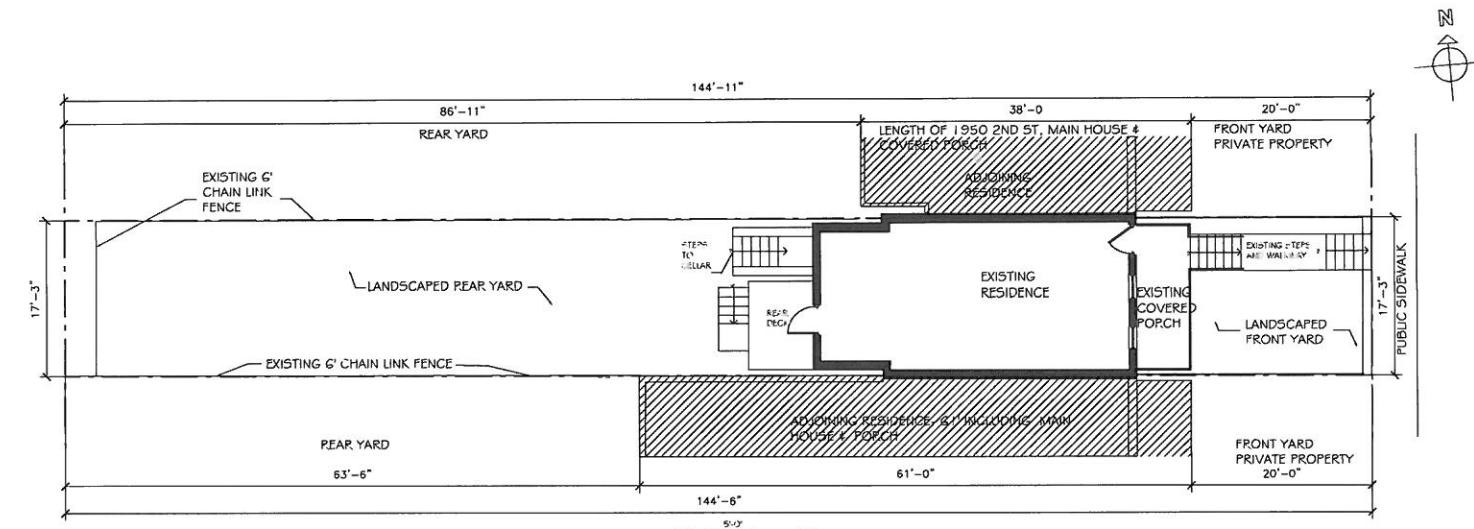
OWNER:
LAWRENCE BRAITHWAITE
1948 SECOND ST NW
WASHINGTON DC 20001
(703) 551-6529

DESIGN:

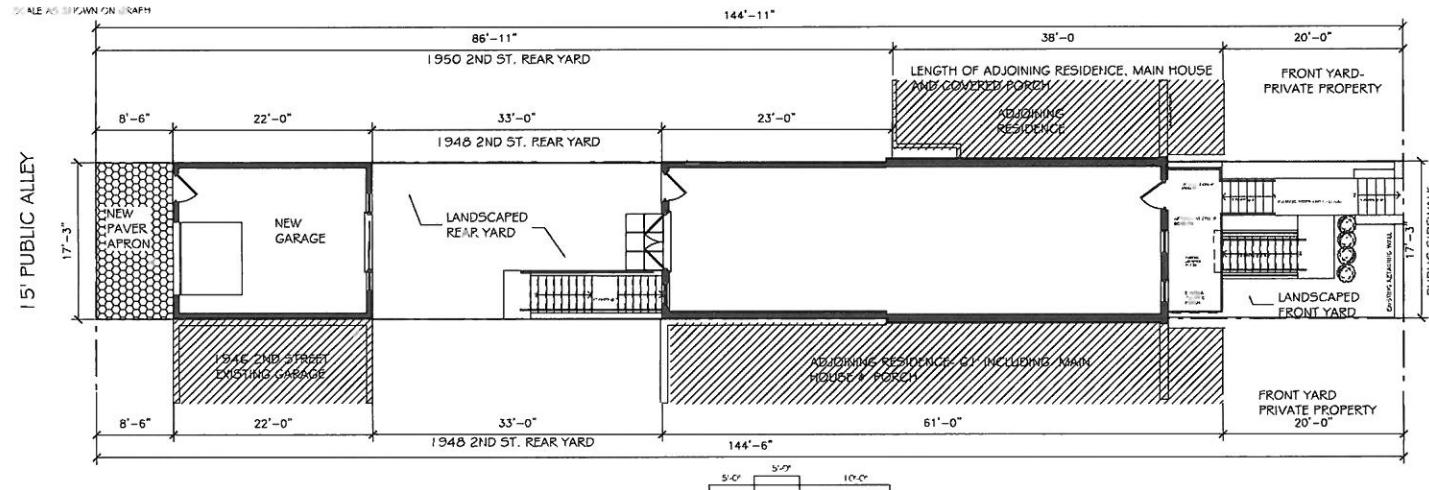


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4115 AMES STREET NE
UNIT 204
WASHINGTON DC 20019

AS-2



EXISTING CONDITIONS SITE PLAN



SITE PLAN WITH IMPROVEMENTS

SCALE AS SHOWN IN GRAPH

FOR
SUBMISSION
TO DC BZA

PROJECT:
1948 SECOND ST NW
RENOVATION &
ADDITION
1948 SECOND STREET NW
WASHINGTON DC 20001

OWNER:
LAWRENCE BRAITHWAITE
1946 SECOND ST NW
WASHINGTON DC 20001
(718) 551-6529

DESIGN:



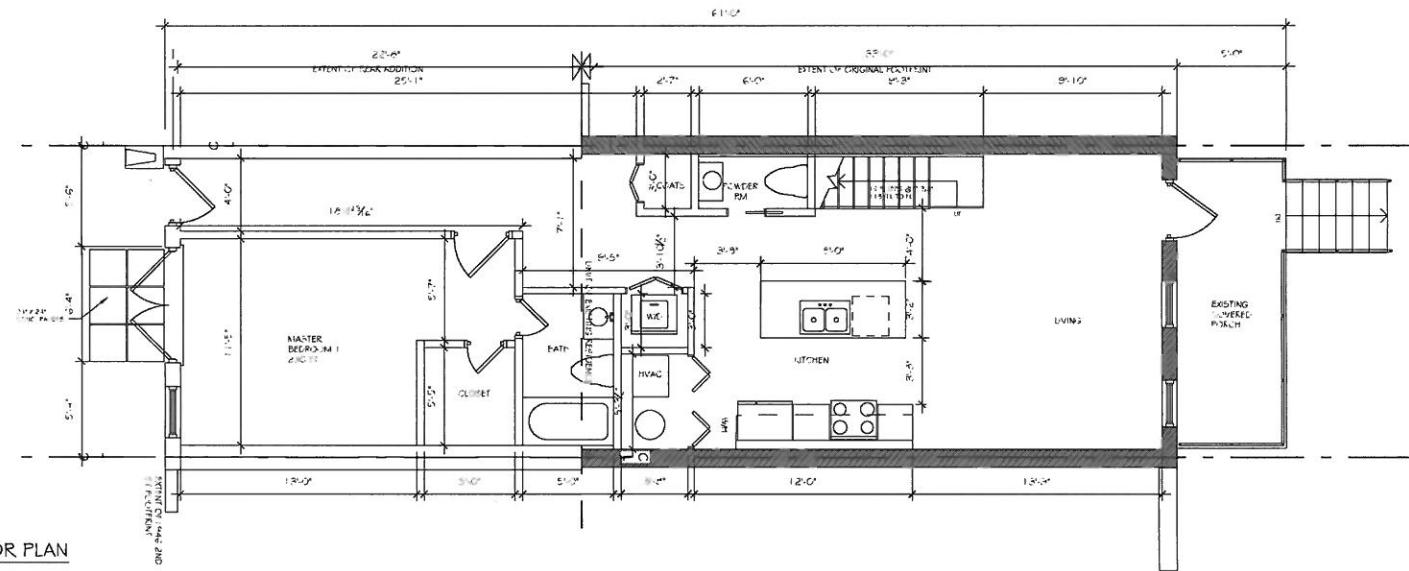
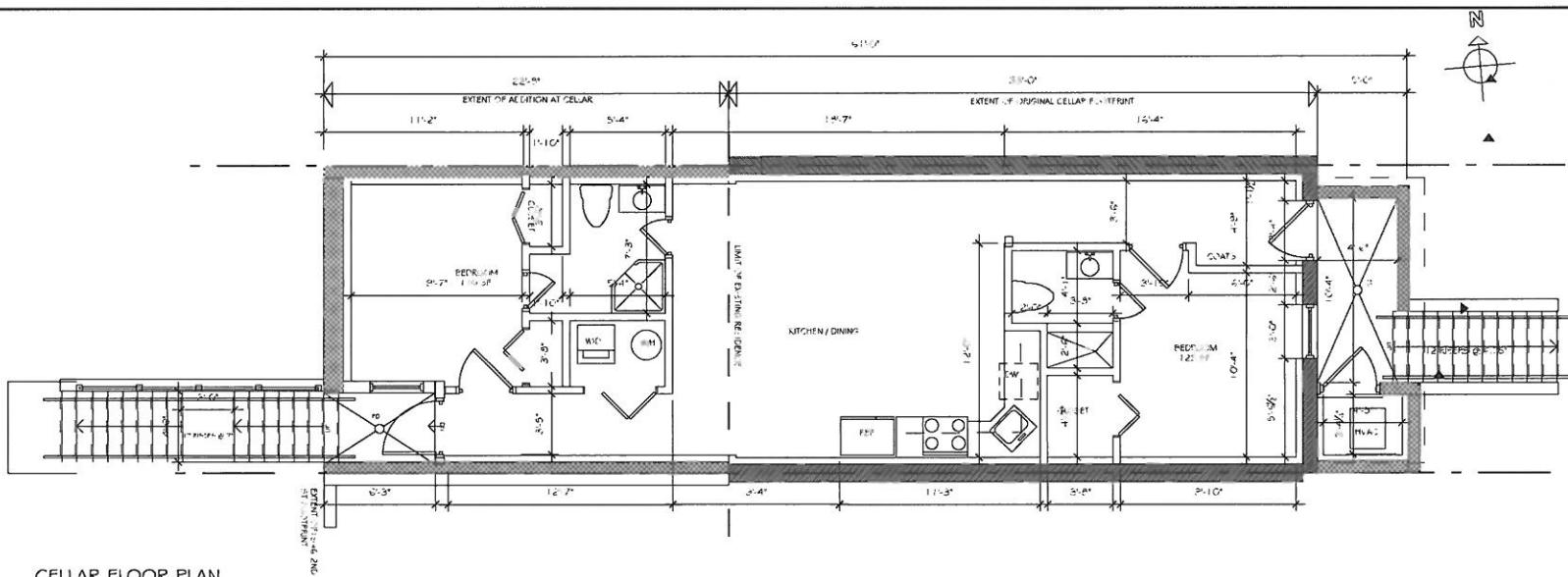
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4116 AMES STREET NE
UNIT 204
WASHINGTON DC 20018

1900 BLOCK 2ND ST. NW

1900 BLOCK 2ND ST. NW

DRAWN 11/02/2017

AS-2



FOR
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TO DC BZA

PROJECT:
1948 SECOND ST NW
RENOVATION &
ADDITION
1948 SECOND STREET NW
WASHINGTON DC 20001

OWNER:
LAWRENCE BRAITHWAITE
1948 SECOND ST NW
WASHINGTON DC 20001
(718) 551-4529

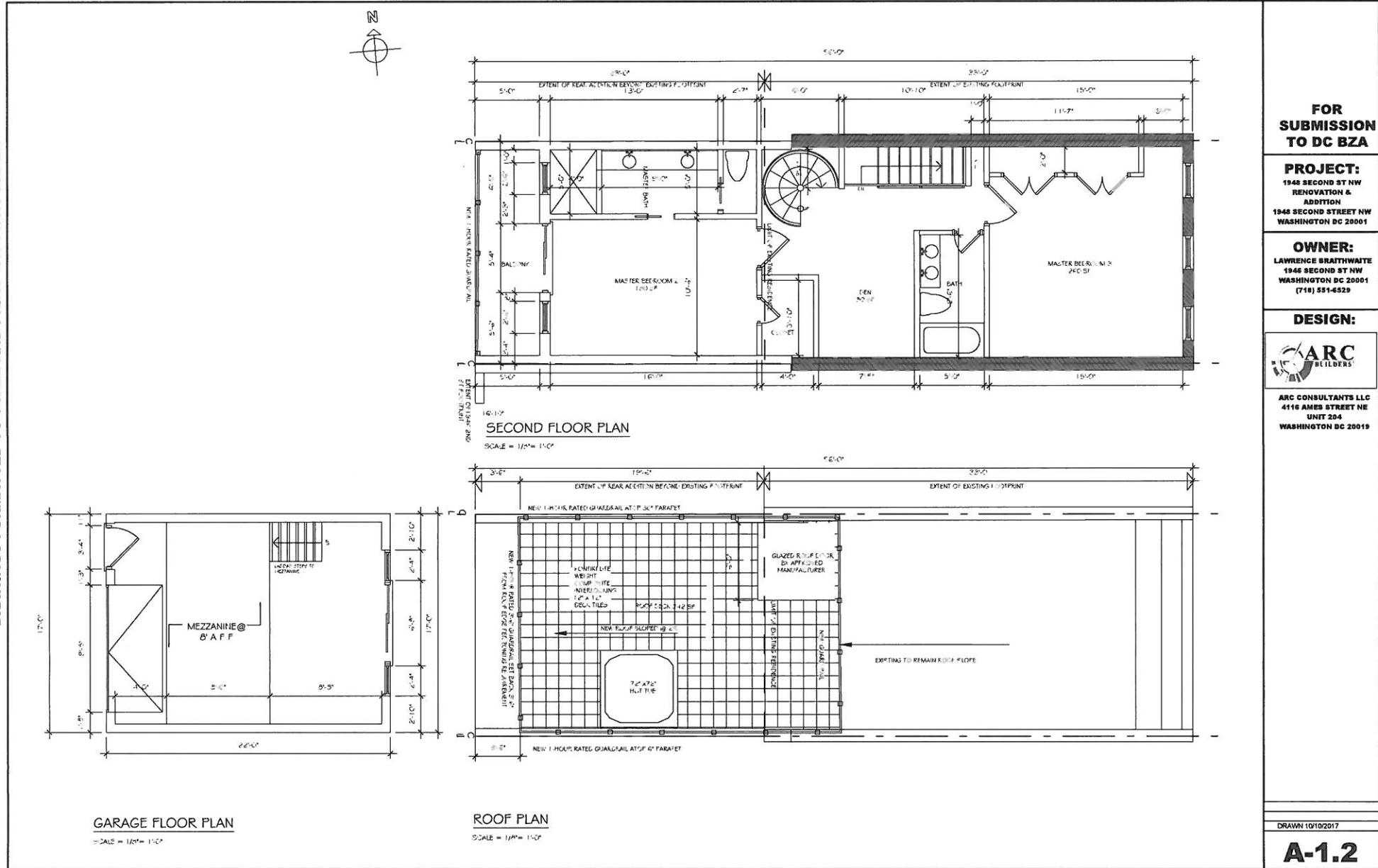
DESIGN:



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4116 AMES STREET NE
UNIT 204
WASHINGTON DC 20019

DRAWN 10/10/2017

A-1.1



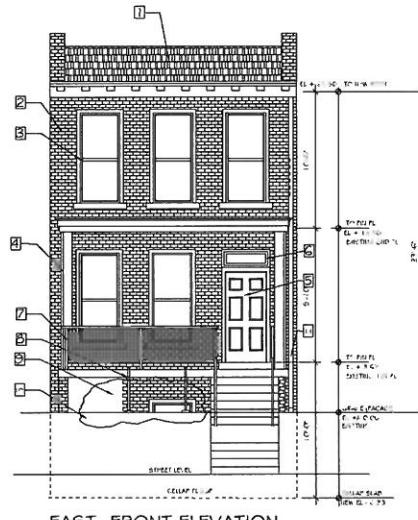
DRAWN 10/10/2017

A-1.2

ZONING & HISTORIC PRESERVATION NOTES

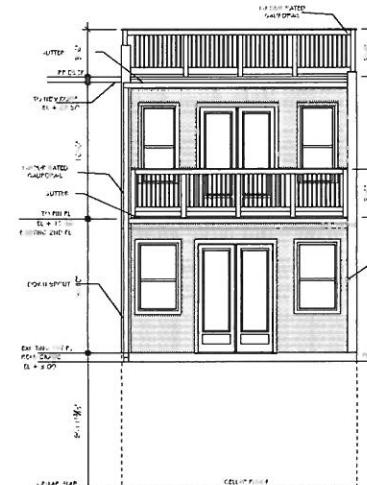
The property is located in the historic district of LeDroit Park. As part of historic preservation requirements, the Second Street Façade of the property is to be preserved as much as possible. Historic features to be preserved include:

- 1 The slate roof, adjacent cornice and molding are to be preserved .
- 2 The existing brick façade has been inspected, is in good condition and is to remain unpainted. If repointed is needed, the existing grout color is to be matched as closely as possible.
- 3 The existing vinyl windows are functional and are to be serviced as needed
- 4 The existing porch columns are to remain
- 5 The existing front door is to be retained but repaired as needed; patched and repainted
- 6 The existing exterior architectural trim around doors and windows is in moderate condition and is to be restored: i.e. patched and repainted in accordance with DDOE regulations
- 7 The existing patio railing and front step handrail are to remain. They may be repainted as needed
- 8 New handrail at steps to cellar to match pattern of existing railing but meeting code requirements for picket distance and railing height.
- 9 Existing lattice under porch to be re-hung to create a visual screen upon completion of the cellar areaway
- 10 In keeping with the HPRB Guidelines, a screen of (evergreen) plantings is to be placed in front of the new cellar stair
- 11 Existing gutters and downspouts to be repaired as needed. Materials, configuration and color to be match existing



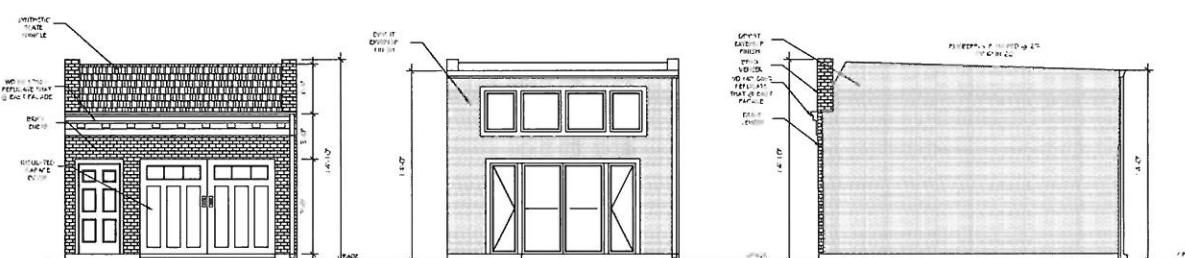
EAST- FRONT ELEVATION

$$\text{SCALE} = 1/\Delta = 1$$



WEST- REAR ELEVATION

$\text{C}_6\text{H}_5\text{AlF} = 113^\circ -$



GARAGE WEST ELEVATION

STATEMENT

GARAGE EAST ELEVATION

2761F = 1/2 = 11

GARAGE SOUTH ELEVATION

2018 = 100%

**FOR
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A-2.1

