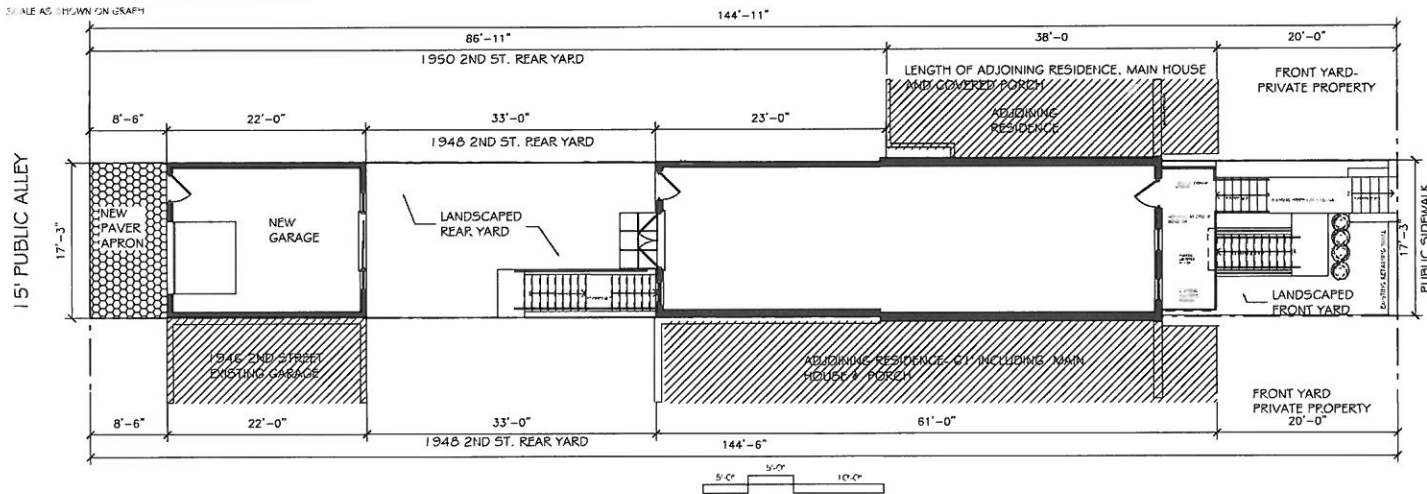


EXISTING CONDITIONS SITE PLAN

SCALE AS SHOWN ON GRAPH



SITE PLAN WITH IMPROVEMENTS

SCALE AS SHOWN ON GRAPH

**FOR  
SUBMISSION  
TO DC BZA**

**PROJECT:**  
1946 SECOND ST NW  
RENOVATION &  
ADDITION  
1946 SECOND STREET NW  
WASHINGTON DC 20001

**OWNER:**  
LAWRENCE BRAITHWAITE  
1946 SECOND ST NW  
WASHINGTON DC 20001  
(718) 551-6529

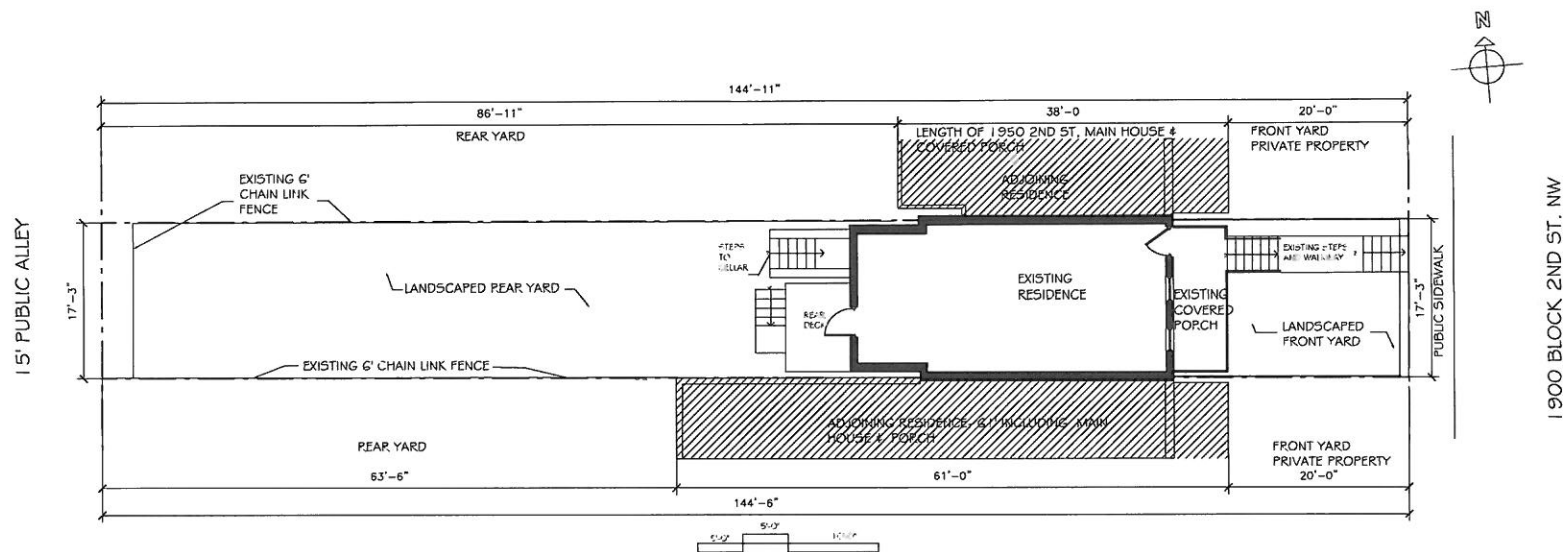
**DESIGN:**



ARC CONSULTANTS LLC  
4116 AMES STREET NE  
UNIT 204  
WASHINGTON DC 20019

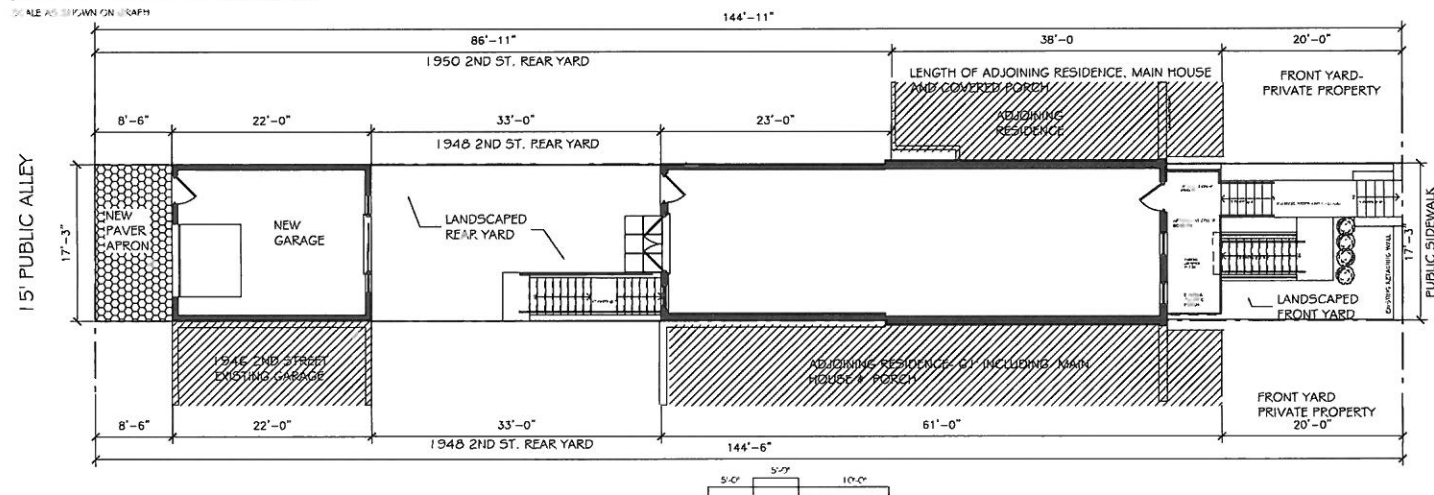
DRAWN 11/02/2017

**AS-2**



EXISTING CONDITIONS SITE PLAN

SCALE AS SHOWN ON GRAPH



SITE PLAN WITH IMPROVEMENTS

SCALE AS SHOWN ON GRAPH

**FOR SUBMISSION TO DC BZA**

**PROJECT:**  
1945 SECOND ST NW  
RENOVATION &  
ADDITION  
1945 SECOND STREET NW  
WASHINGTON DC 20001

**OWNER:**  
LAWRENCE BRAITHWAITE  
1945 SECOND ST NW  
WASHINGTON DC 20001  
(718) 551-6929

**DESIGN:**

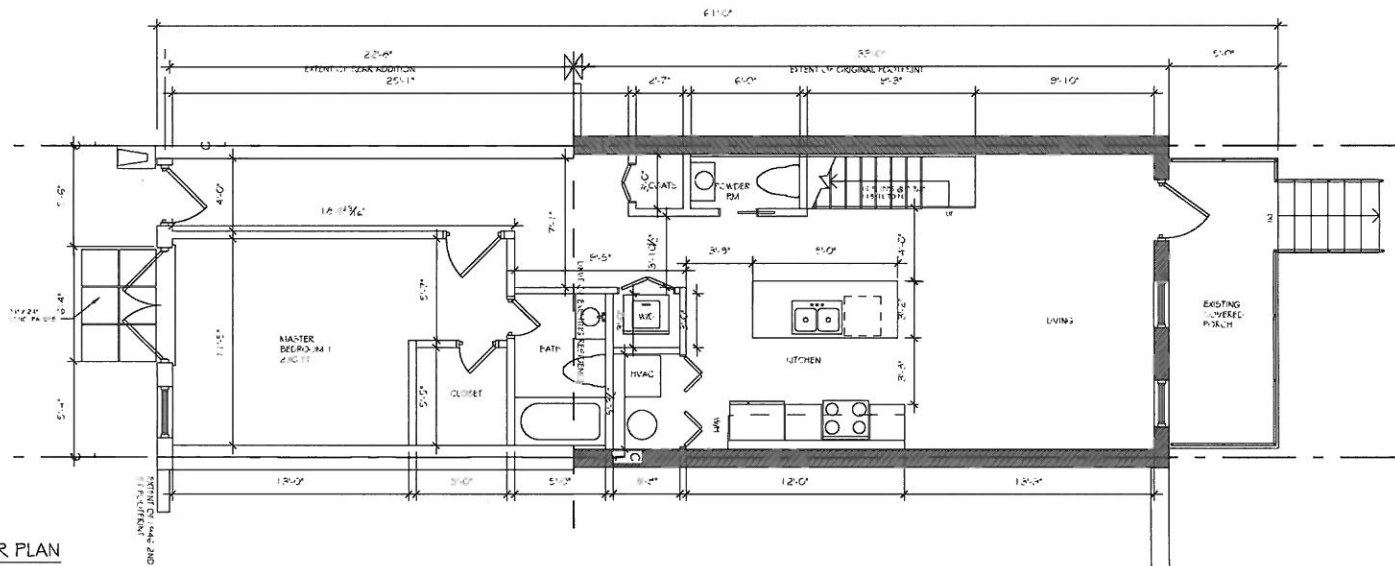


ARC CONSULTANTS LLC  
4116 AMES STREET NE  
UNIT 204  
WASHINGTON DC 20019

DRAWN 11/02/2017

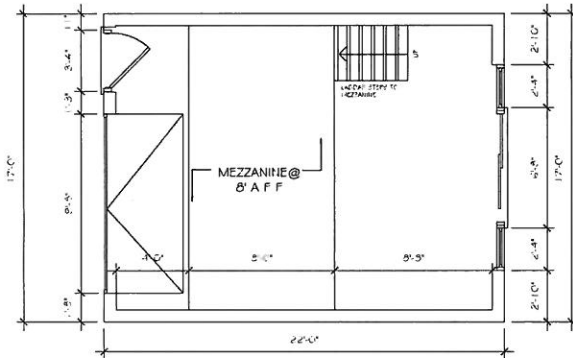
**AS-2**

→  $\angle AEF = 1/4^\circ = 1^\circ$



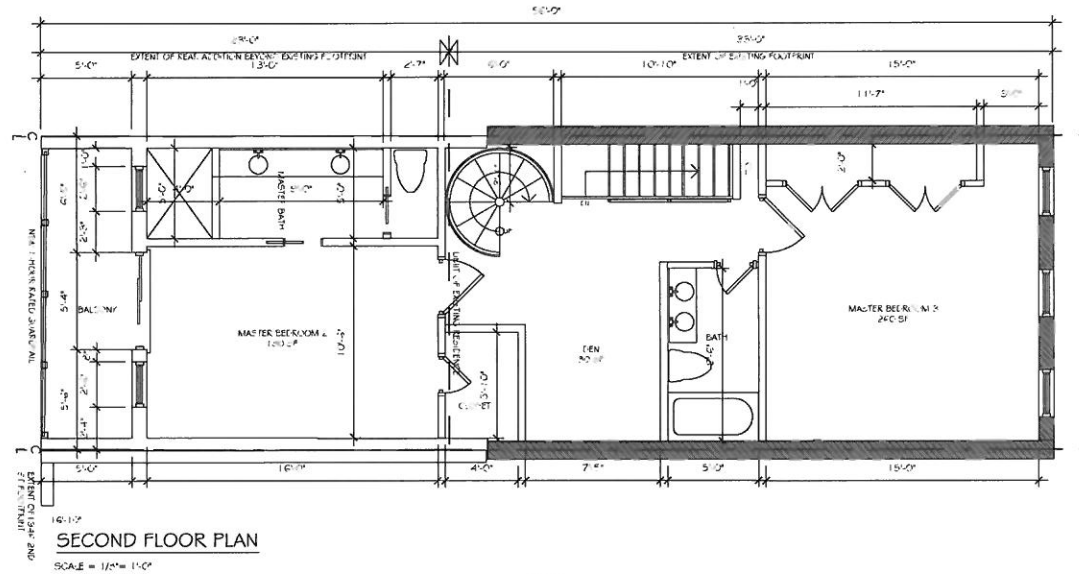
SCALE = 175° = 1.5°

### A-1.1



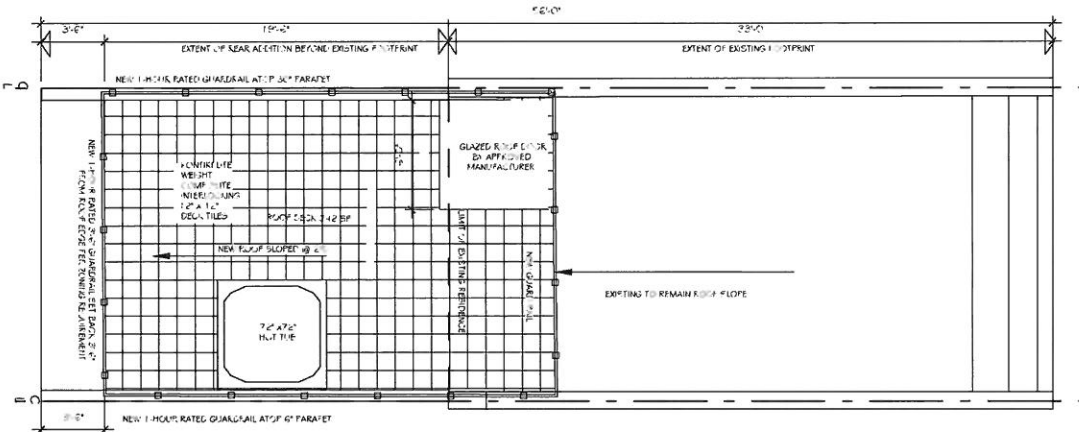
**GARAGE FLOOR PLAN**

SCALE = 1/8" = 1'-0"



**SECOND FLOOR PLAN**

SCALE = 1/8" = 1'-0"



**ROOF PLAN**

SCALE = 1/8" = 1'-0"

**FOR  
SUBMISSION  
TO DC BZA**

**PROJECT:**  
1945 SECOND ST NW  
RENOVATION &  
ADDITION  
1945 SECOND STREET NW  
WASHINGTON DC 20001

**OWNER:**  
LAWRENCE BRATHWAITE  
1945 SECOND ST NW  
WASHINGTON DC 20001  
(718) 551-6529

**DESIGN:**



ARC CONSULTANTS LLC  
4116 AMES STREET NE  
UNIT 204  
WASHINGTON DC 20019

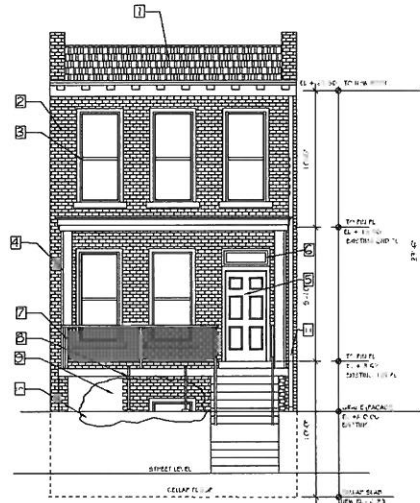
DRAWN 10/10/2017

**A-1.2**

## ZONING & HISTORIC PRESERVATION NOTES

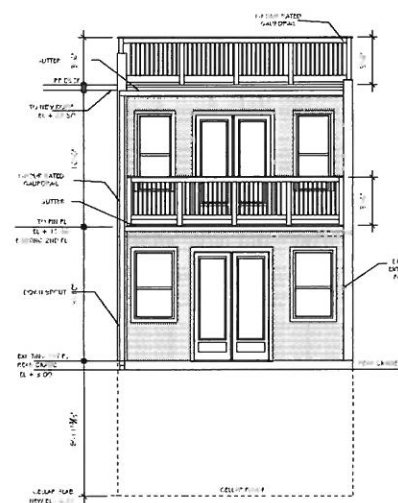
The property is located in the historic district of LeDroit Park. As part of historic preservation requirements, the Second Street Façade of the property is to be preserved as much as possible. Historic features to be preserved include:

- 1 The slate roof, adjacent cornice and molding are to be preserved.
- 2 The existing brick façade has been inspected, is in good condition and is to remain unpainted. If repointed is needed, the existing grout color is to be matched as closely as possible.
- 3 The existing vinyl windows are functional and are to be serviced as needed.
- 4 The existing porch columns are to remain.
- 5 The existing front door is to be retained but repaired as needed; patched and repainted.
- 6 The existing exterior architectural trim around doors and windows is in moderate condition and is to be restored: i.e. patched and repainted in accordance with DDOE regulations.
- 7 The existing patio railing and front step handrail are to remain. They may be repainted as needed.
- 8 New handrail at steps to cellar to match pattern of existing railing but meeting code requirements for picket distance and railing height.
- 9 Existing lattice under porch to be re-hung to create a visual screen upon completion of the cellar areaway.
- 10 In keeping with the HPRB Guidelines, a screen of (evergreen) plantings is to be placed in front of the new cellar stair.
- 11 Existing gutters and downspouts to be repaired as needed. Materials, configuration and color to be match existing.



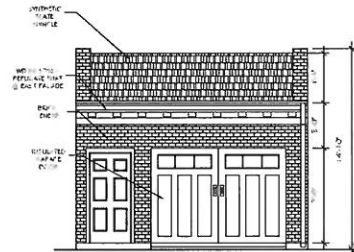
EAST- FRONT ELEVATION

SCALE = 1/8" = 1'-0"



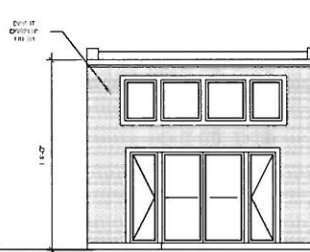
WEST- REAR ELEVATION

SCALE = 1/8" = 1'-0"



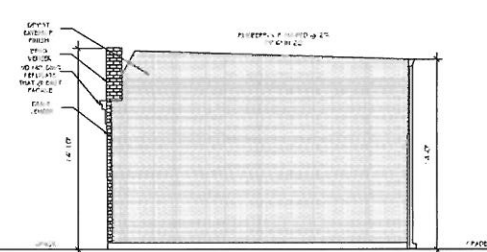
GARAGE WEST ELEVATION

SCALE = 1/8" = 1'-0"



GARAGE EAST ELEVATION

SCALE = 1/8" = 1'-0"



GARAGE SOUTH ELEVATION

SCALE = 1/8" = 1'-0"

**FOR  
SUBMISSION  
TO DC BZA**

**PROJECT:**  
1948 SECOND ST NW  
RENOVATION &  
ADDITION  
1948 SECOND STREET NW  
WASHINGTON DC 20001

**OWNER:**  
LAWRENCE BRAITHWAITE  
1946 SECOND ST NW  
WASHINGTON DC 20001  
(718) 551-6529

**DESIGN:**



ARC CONSULTANTS LLC  
4116 AMES STREET NE  
UNIT 204  
WASHINGTON DC 20019

DRAWN 10/10/2017

**A-2.1**

**ARC CONSULTANTS LLC  
4116 AMES STREET NE  
UNIT 204  
WASHINGTON DC 20019**

DRAWN 10/10/2017

## A-2.2